

Solicitation Number	21-BCG-PR-001
Date Printed	January 10, 2022
Date Issued	January 10, 2022
Procurement Officer	Lawrence Lutrario
Phone	(843) 566-8155
E-Mail Address	Lawrence_lutrario@charleston.k12.sc.us

**DESCRIPTION: Malcolm C. Hursey Montessori School at Ron McNair Campus
 Building No. 0734**

Offeror is to submit a signed copy of this Addendum # 1 form with BID	
NAME OF OFFEROR <small>(Full legal name of business submitting the offer)</small>	
AUTHORIZED SIGNATURE <small>(Person signing must be authorized to submit binding offer to enter contract on behalf of Offeror named above.)</small>	
TITLE <small>(Business title of person signing above)</small>	
PRINTED NAME <small>(Printed name of person signing above)</small>	DATE SIGNED

ACKNOWLEDGMENT OF AMENDMENTS	Amendment No.	Amendment Issue Date	Amendment No.	Amendment Issue Date	Amendment No.	Amendment Issue Date	Amendment No.	Amendment Issue Date
Offerors acknowledges receipt of amendments by indicating amendment number and its date of issue. See "Amendments to Solicitation" Provision								
DISCOUNT FOR PROMPT PAYMENT See "Discount for Prompt Payment" clause	10 Calendar Days (%)		20 Calendar Days (%)		30 Calendar Days (%)		____Calendar Days (%)	

SEE NEXT PAGE

AMENDMENTS TO SOLICITATION (a) The Solicitation may be amended at any time prior to opening. (b) Offerors shall acknowledge receipt of any amendment to this solicitation (1) by signing and returning the amendment, (2) by identifying the amendment number and date in the space provided for this purpose on Page Two, (3) by letter, or (4) by submitting a bid that indicates in some way that the bidder received the amendment. (c) If this solicitation is amended, then all terms and conditions which are not modified remain unchanged.

Solicitation has been amended as follows:

FOR

**MALCOLM C. HURSEY MONTESSORI SCHOOL AT RON MCNAIR CAMPUS
BUILDING NO. 0734**

PREPARED BY:

**BROWNSTONE CONSTRUCTION GROUP
4055 FABER PLACE DRIVE, SUITE 202
N. CHARLESTON, SOUTH CAROLINA 29405**

AND

**RED IRON ARCHITECTS
4591 DURANT AVENUE
N. CHARLESTON, SOUTH CAROLINA 29405**

This addendum consists of the following attachments:

ITEM 1		No. of Pages
1.	Pre-Bid Conference Information	
	a. Pre-Bid Conference Sign-in Sheet	1
	b. Pre-Bid Conference Power Point Presentation	21
	c. Pre-Bid Conference Meeting Minutes	28
2.	ADD Questions and Clarifications	2
3.	ADD Drawing Changes	4
4.	Bar Joist and Roof Deck Package (For Reference Only)	10
ITEM 1.1	PRE-BID CONFERENCE: See the attached Pre-Bid Sign-In Sheet, PowerPoint Presentation (which includes the Agenda) and Meeting Minutes dated January 4, 2022.	
ITEM 1.2	QUESTIONS & CLARIFICATIONS: See the attached clarifications indicating changes to be incorporated into the Contract Documents.	
ITEM 1.3	DRAWINGS: In accordance with this addendum, the following drawings shall be incorporated into the Contract Documents:	
	1. Sheet A0.03 – Revised	
	2. Sheet A0.04 – New Sheet	
	3. Sheet A1.00 – Revised	
	4. Sheet S1.05 – Revised	

ITEM 1.4 Bar Joist and Roof Deck Package dated October 15, 2021. The Bar Joist and Roof Deck Package is issued for Reference Only

END OF ADDENDUM No. 1

1.1 PRE-BID CONFERENCE

Brownstone Construction Group

4055 Faber Place Drive, Suite 202 – North Charleston, SC 29405 - Phone (843) 973-8660

CHARLESTON COUNTY SCHOOL DISTRICT
MALCOLM C. HURSEY MONTESSORI AT RON MCNAIR CAMPUS
PRE-BID CONFERENCE SIGN-IN
January 4, 2022 – 10:00 A.M.

NAME	COMPANY	EMAIL	PHONE
Dale Collier	Brownstone	dcollier@bstonegroup.com	803-917-6258
Parker Whitaker	Midnight Const.	parker@midnightconstruction.com	762-343-5327
Kara Cannon	Edcon	kara@edconinc.com	803-429-5130
Crystal Queen	Contract Construction	quotes@contractconstruction.net	803-781-7058
Danella D Lorm	Red Iron		
Emma Sacker	Red Iron		
Ashley Adams	Hampton Inn Charleston Airport	ashley.adams@hilton.com	706-248-4130
Taylor Nealey	Brownstone	tnealey@bstonegroup.com	803-704-1218
Will Neely	MB Kahn	jcaldwell@mbkahn.com wneely@mbkahn.com	843-990-7700
Sarah Spencer	EDIFICE	jspencer@edificeinc.com	843.817.0425
KEITH LOVAS	EDIFICE	klavas@edificeinc.com	843-812-0023
Jasmeen Shaw	CCSD	jasmeen@ccsd	
Raymond Jenkins	CCSD		
LAWRENCE WILSON	CCSD	—	
Margarita Perez	Brownstone	mperez@bstonegroup.com	404-295-8404



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Malcolm C. Hursey Montessori at Ron McNair Campus

Pre-Bid Conference



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

AGENDA

- I. Introductions
- II. Project Description and Scope
- III. Bid Date and Location
- IV. Bidding Requirements
- V. Review of Plans and Specifications
- VI. Addenda / Allowances / Alternates
- VII. Special Conditions / Early Site Package
- VIII. Site Visits
- IX. Questions



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Malcolm C. Hursey at Ron McNair Campus – Aerial



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

II. PROJECT DESCRIPTION AND SCOPE (Overall)

1. The work includes, but is not limited to, the construction of a new, three-story, fully sprinkled, 125,000 square foot building located on the site of the former Ron McNair Campus Elementary School at 3910 Verde Avenue, North Charleston, SC 29405. The facility will be composed predominantly of load bearing masonry veneered with utility brick and reinforced with structural steel, joists, trusses, and metal decking. The roof system is a 2-ply modified bitumen system. A 4-pipe chiller/boiler system will be used for the majority of the spaces with a separate make-up air system providing outside air. Finishes will include but are not limited to: SVT, terrazzo, ceramic and quarry tile, sealed concrete flooring, carpet, acoustical ceilings, paint, casework, marker/tack boards, and kitchen equipment. The package includes an elevator, basic electrical services, life safety systems, information technology systems, and cable trays. Sitework is also part of this contract and consists of the installation of utilities, paving, sidewalks, curb & gutter, fencing, grassing and landscaping. Project will be required to be designed and constructed in accordance with CCSD’s Educational Specifications and Design Requirements. Total Project must be completed no later than June 30, 2023.



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

III. BID DATE AND LOCATION

- 1. **Date: Tuesday January 25, 2022**
- 2. **Time: 2:00PM**
Bids received after the noted time will be rejected and returned to the bidder unopened.
- 3. **Location (and mailing address for bids):**
Brownstone Construction Group
4055 Faber Place Drive, Suite 202
North Charleston, SC 29405
- 4. **Bid Opening will be hosted via Teams. An invite will be forwarded to all bidders**



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

IV. BIDDING REQUIREMENTS (Spec. Section 000116)

1. Form of Proposal - Enclose in a sealed, opaque envelope, bearing name, address of the bidder, South Carolina Contractors and Bidders License Numbers, identification of contract being bid and name of project.
2. Bid Bond or Cashier’s Check for 5% of Base Bid
3. Acknowledge Receipt of Addenda
4. All bids must comply with the laws of South Carolina
5. Signature
6. SWMBE Requirements



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

V. REVIEW OF PLANS AND SPECIFICATIONS

1. Red Iron Architects Main Point of Contact

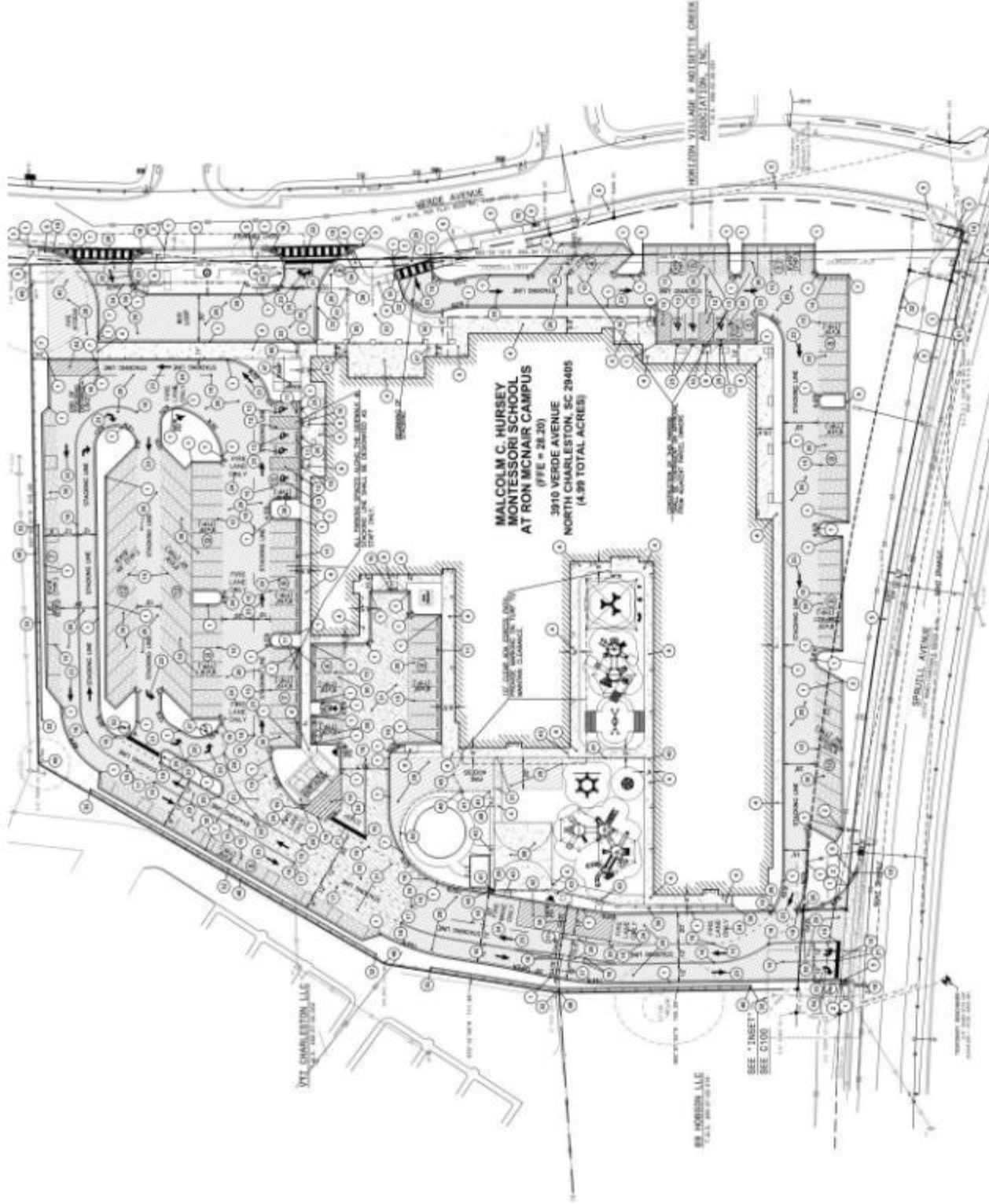
Danielle DeLorme

Danielle@red-ironarchitects.com

2. Brownstone Main Point of Contact

Margarita Perez

mperez@bstonegroup.com

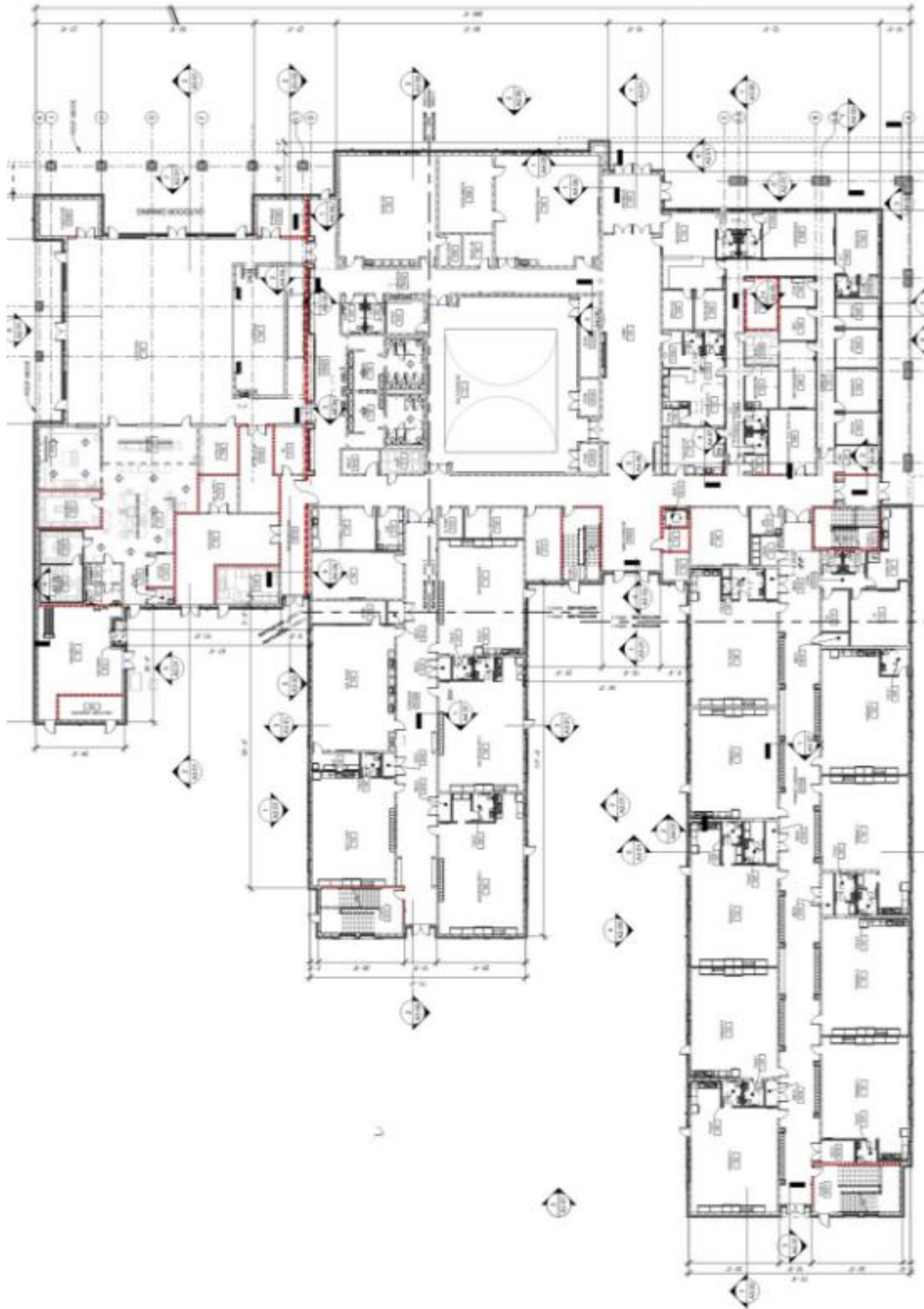


Malcolm C. Hursey at Ron McNair Campus – Site Plan

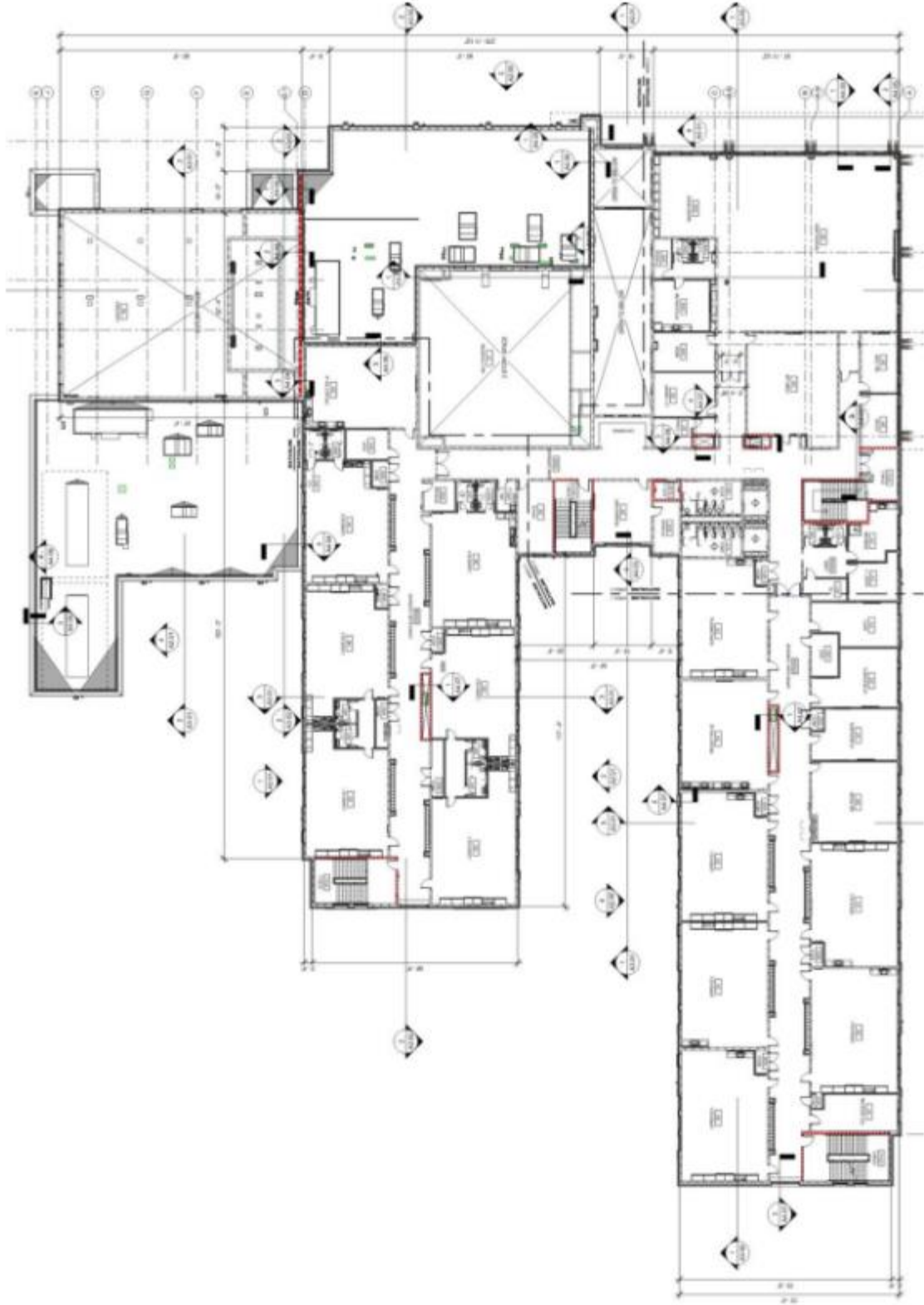
Margarita Perez - Brownstone

Malcolm C. Hursey at Ron McNair Campus

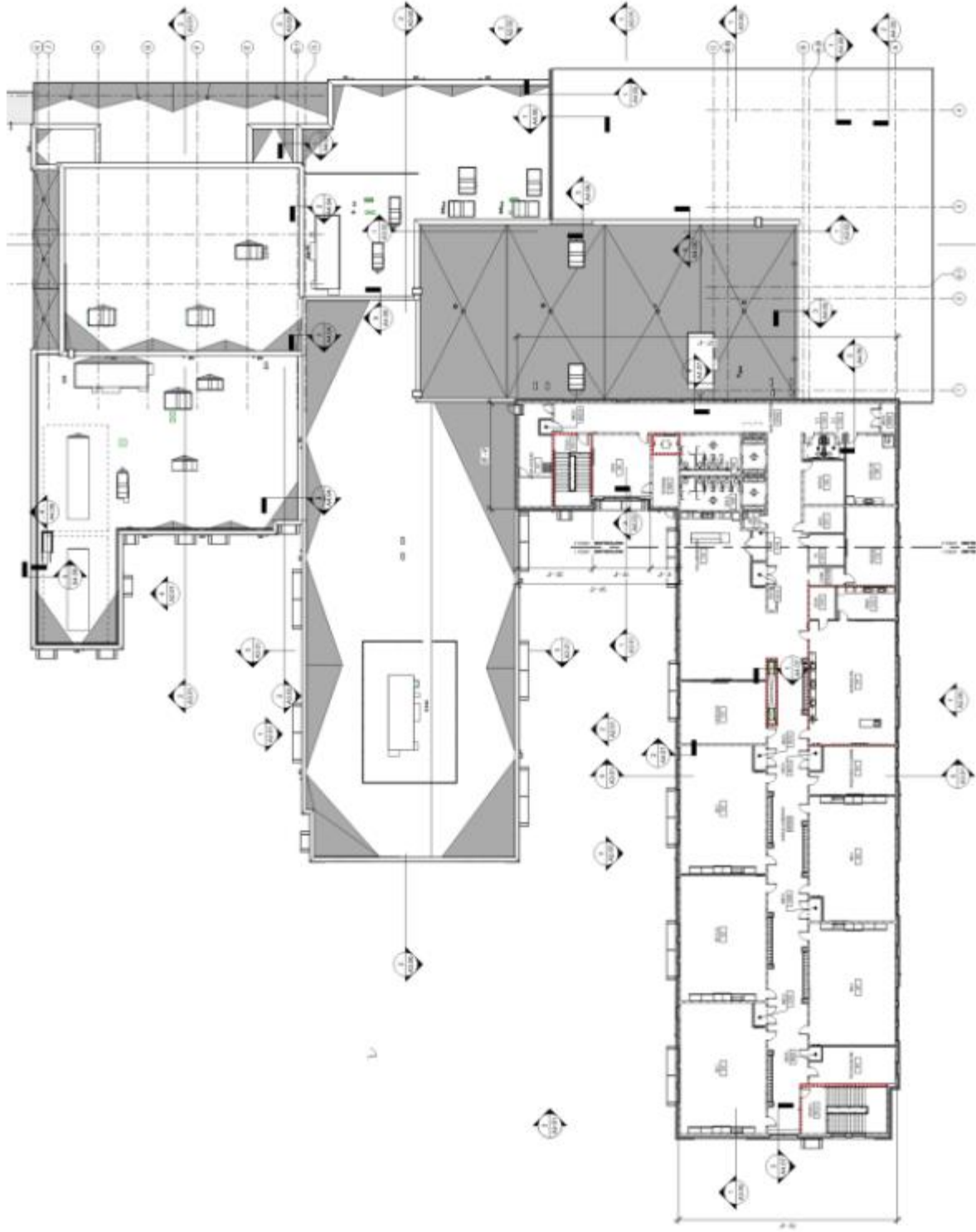
January 4, 2022



Malcolm C. Hursey at Ron McNair Campus – First Floor Plan



Malcolm C. Hursey at Ron McNair Campus – Second Floor Plan

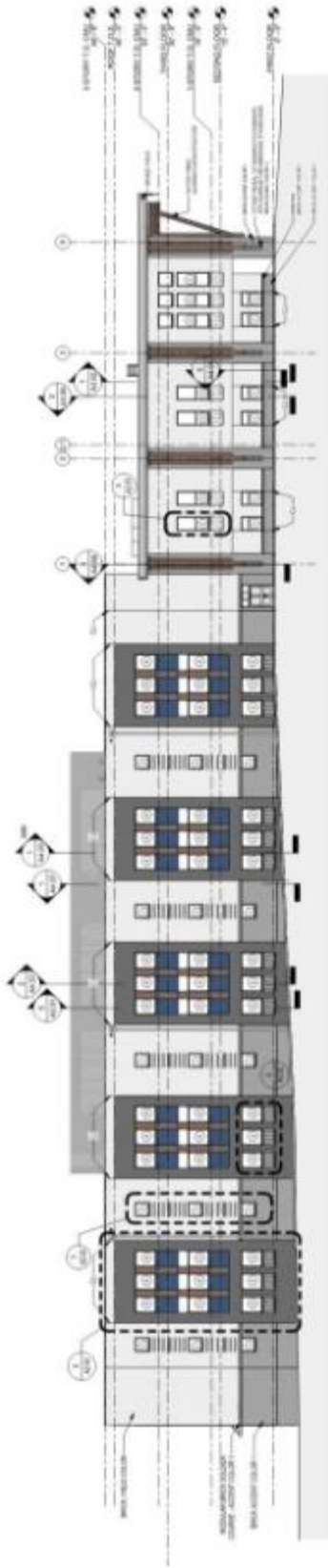


Malcolm C. Hursey at Ron McNair Campus – Third Floor Plan

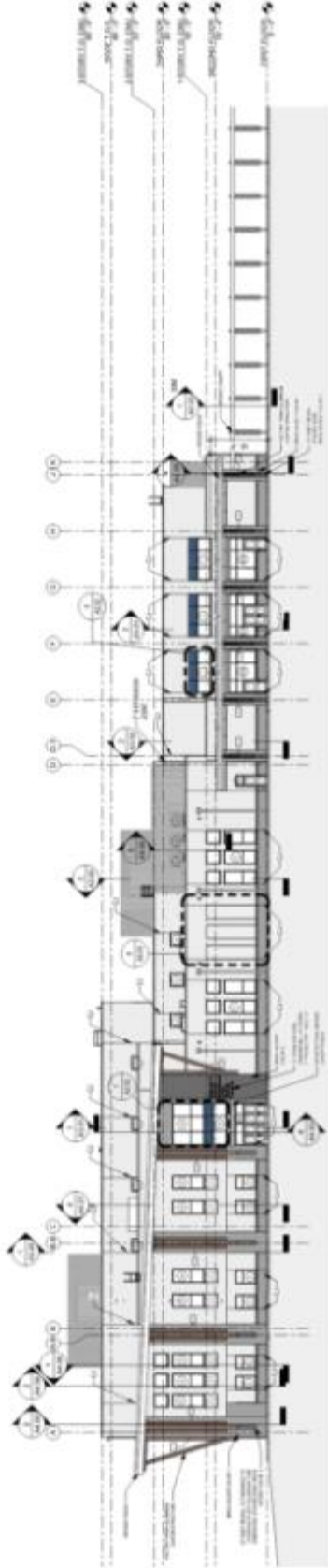
Margarita Perez - Brownstone

Malcolm C. Hursey at Ron McNair Campus

January 4, 2022



South Elevation (Spruill Avenue)



East Elevation (Verde Avenue)

Malcolm C. Hursey at Ron McNair Campus – Elevations

Margarita Perez - Brownstone

Malcolm C. Hursey at Ron McNair Campus

January 4, 2022



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

VI(a). ADDENDA

1. At least one Addendum will be published to include at a minimum discussions held during the Pre-Bid Conference.
2. Last Day for Questions: January 14, 2022 at 3:00PM

VI(b). ALLOWANCES (Spec. Section 012100)

- | | |
|---|----------------|
| 1. General Contingency Allowance | \$450,000.00 |
| 2. Dispute Resolution Board Allowance | \$10,000.00 |
| 3. Fire Alarm System Allowance | \$286,000.00 |
| 4. Intrusion Detection System Allowance | \$40,000.00 |
| 5. Energy Management System Allowance | \$1,050,000.00 |
| 6. Security Access Control Hardware Allowance | \$175,000.00 |
| 7. Door Hardware Punch Allowance | \$21,000.00 |
| 8. Fencing and Gates Allowance | \$375,000.00 |



Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

VI(c). ALTERNATES (Spec. Section 012300)

1. Alternate No. 1: Indicate pricing to add alternate glazing at interior doors and windows as follows:
 - Alternate 1A: Indicate pricing to add Laminated Glazing in lieu of tempered glazing
 - Alternate 1B: Indicate pricing to add Windborne-Debris-Impact Resistant Glazing in lieu of tempered glazing.
 - Alternate 1C: Indicate pricing to add Bullet-Resistant (Level 1) in lieu of tempered glazing

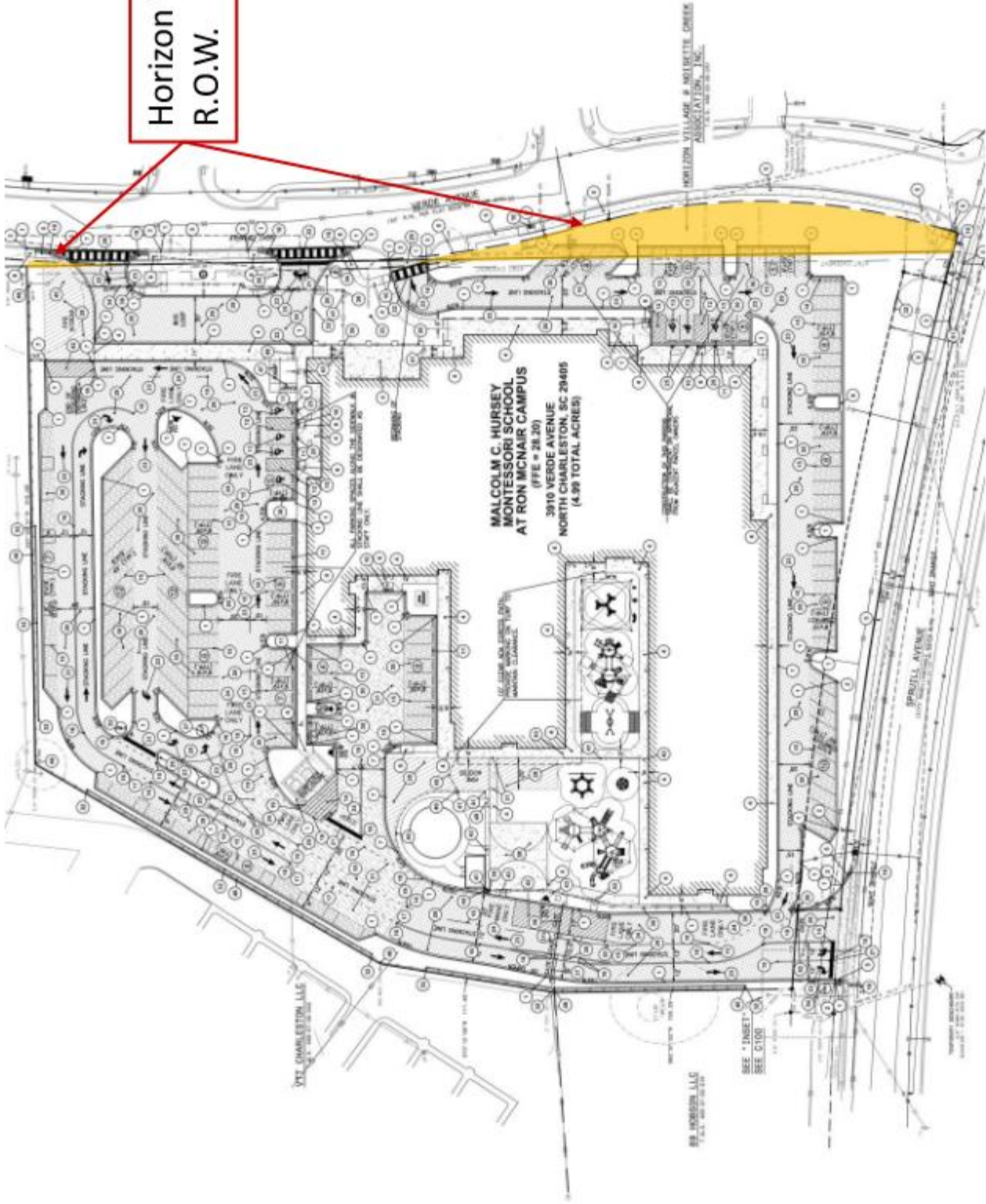
2. Alternate #2: Indicate pricing to provide thin set epoxy terrazzo in Lobby 100 with integral cove base. Epoxy terrazzo to match Sherwin Williams Colors, Matrix: 50% China White, 50% Crystal Glass

3. Alternate #3: Indicate pricing to add all work associated with the Emergency Responder Radio Repeater and Bi-Directional system as indicated on plans and in specifications

Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference**VII(a). SPECIAL CONDITIONS**

1. OSF Approvals
2. IBC Chapter 1 & 17 Inspections and Material Testing
3. Soils Report
4. Contractor Offices (Spec. Section 015000)
5. Owner Furnished/Contracted Installed Products (Spec. Section 016400)
 - Appliances and Soap Dispensers
 - Roof Joists and Decking – Bar Joist and Roof Deck Package dated 10.15.2021
6. Owner Furnished/Owner Installed Products (Spec. Section 016400)
 - Resilient Flooring
 - Window Shades
 - Furniture, Office Equipment, Computer Equipment, Site Furnishings
 - Audio Visual Systems Equipment and Platform Lighting (GC to provide raceway and power)
7. Horizon Village Right-of-Way – No work can be undertaken in this area until property has been secured.
8. Protect existing 15” sewer line that serves Pinecrest Apartments

Horizon Village
R.O.W.



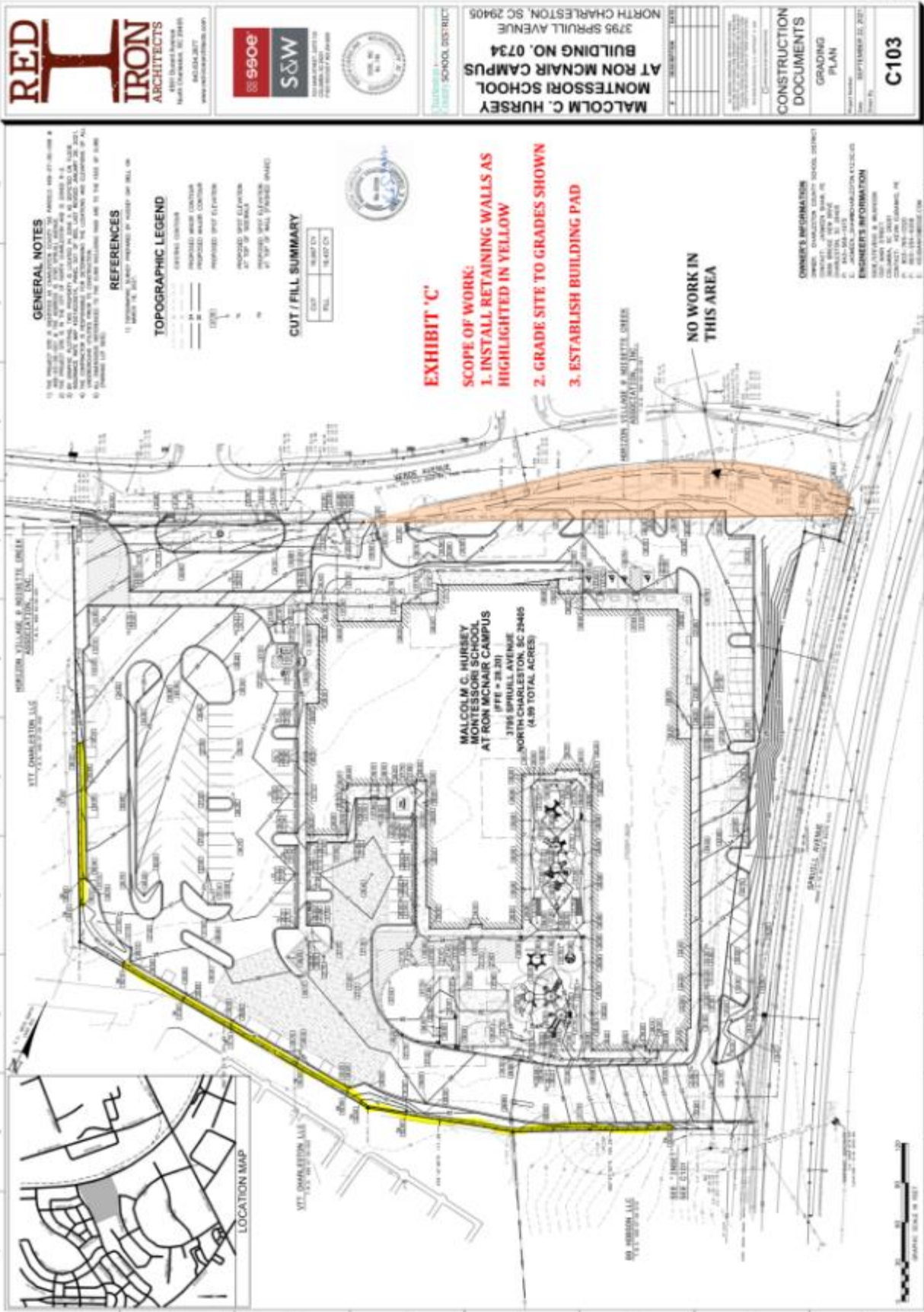
Malcolm C. Hursey at Ron McNair Campus – Horizon Village Right of Way



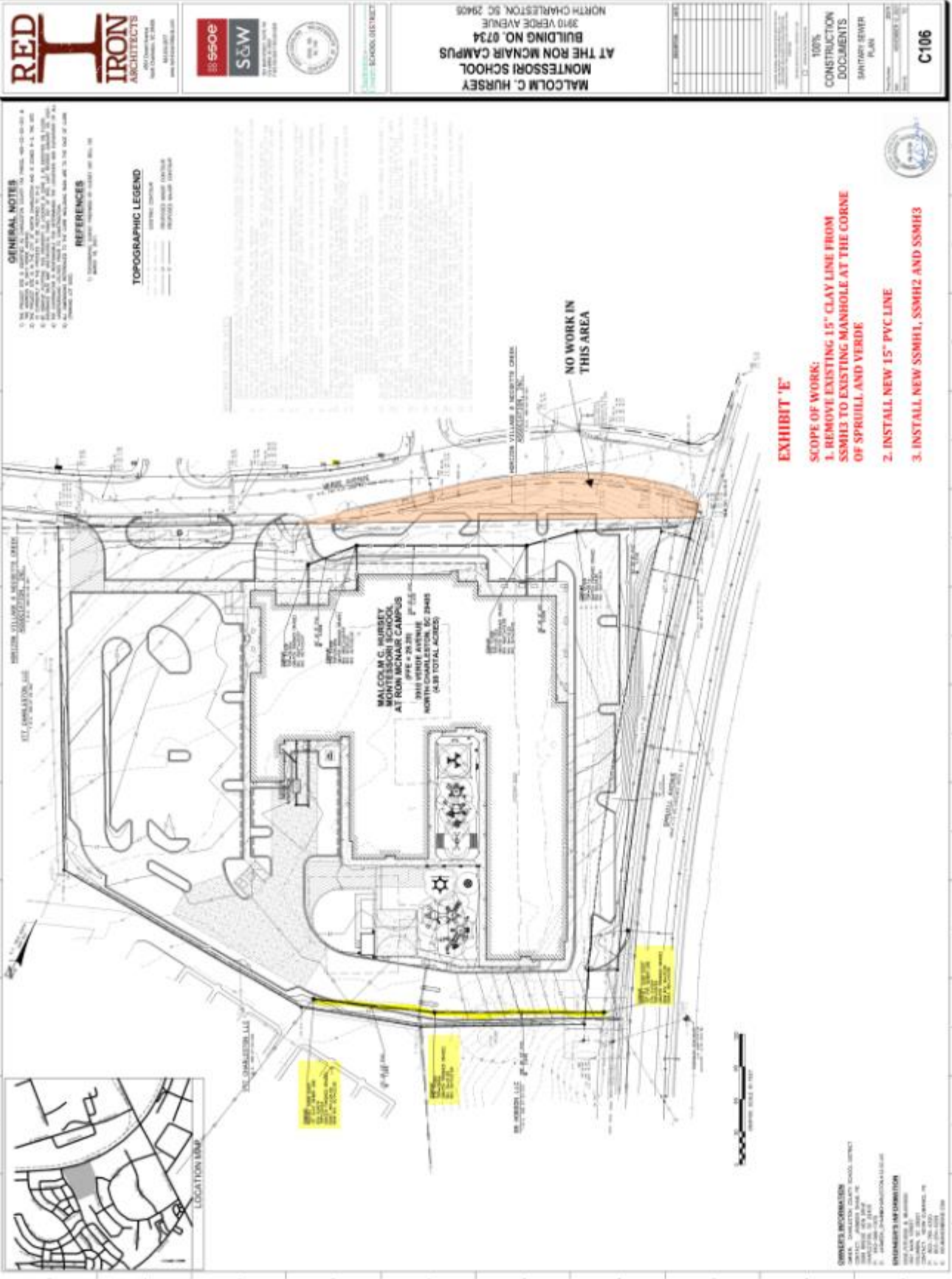
Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

VIII(b). Early Site Package

1. IPW Construction Group – Early Site Package General Contractor
2. Action Services – Grading and Utility Subcontractor
3. Grading | Establish Building Pad | Retaining Walls – Exhibit C
4. Underground Detention System – Exhibit D
5. Existing 15” Sewer Removal and Relocation – Exhibit E



Early Site Package Exhibit C – Grading | Building Pad | Retaining Walls



Early Site Package Exhibit E – Sewer Removal and Relocation

Margarita Perez - Brownstone

Malcolm C. Hursey at Ron McNair Campus

January 4, 2022



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Malcolm C. Hursey at Ron McNair Campus – Pre-Bid Conference

VIII. SITE VISITS

1. Site may be visited at GC's discretion
2. Contractors are to check in with Enoch Dickerson, Brownstone's Site Manager
3. Questions will not be answered on site. Questions are to be submitted in writing by January 14, 2022.

IX. QUESTIONS

Brownstone Construction Group

4055 Faber Place Drive, Suite 202 – North Charleston, SC 29202 - Phone (843) 973-8660

**CHARLESTON COUNTY SCHOOL DISTRICT
MALCOLM C. HURSEY MONTESSORI AT RON MCNAIR CAMPUS
PRE-BID CONFERENCE – MEETING MINUTES
January 4, 2022 – 10:00 A.M.**

THOSE IN ATTENDANCE: Sign-In Sheets of Attendees is Attached

I. OPENING REMARKS / INTRODUCTIONS

Jasmeen Shaw and Larry Lutrario of CCSD thanked all in attendance for considering the Hursey Montessori project.

Shaw turned the remainder of the meeting over to Margarita Perez who introduced herself and members of the CM, Architect and Owner that were attendance. She then led the meeting in accordance with a PowerPoint Presentation that is attached and followed the agenda as outlined.

II. PROJECT DESCRIPTION AND SCOPE

Perez indicated that this project consists of the construction of a new, three-story, fully sprinkled, 125,000 square foot building located on the site of the former McNair Campus Elementary School at 3910 Verde Avenue, North Charleston, SC 29405. At Slides 3 – 4, she gave an overview of the project location and noted that the work will have to be completed by June 30, 2023.

Perez noted that the facility will be composed predominantly of load bearing masonry veneered with utility brick and reinforced with structural steel, joists, trusses, and metal decking. The roof system is a 2-ply modified bitumen system. A 4-pipe chiller/boiler system will be used for the majority of the spaces with a separate make-up air system providing outside air. Finishes will include but are not limited to: SVT, terrazzo, ceramic and quarry tile, sealed concrete flooring, carpet, acoustical ceilings, paint, casework, marker/tack boards, and kitchen equipment. The package includes an elevator, basic electrical services, life safety systems, information technology systems, and cable trays. Sitework is also part of this contract and consists of the installation of utilities, paving, sidewalks, curb & gutter, fencing, grassing and landscaping. Project will be required to be designed and constructed in accordance with CCSD's Educational Specifications and Design Requirements.

III. BID AND LOCATION

Bid Date: January 25, 2022 at 2:00 P.M. Single Prime Bids will be accepted at 2:00 PM.

Perez reiterated that all bids must be in at 2:00PM. Bids received after the noted time will be rejected and returned to the bidder unopened.

Bid Location: Brownstone Construction Group located at 4055 Faber Place Drive, Suite 202, North Charleston, South Carolina 29405. Bids can also be mailed to this location.

Due to Covid19 concerns, the bid opening will be held via Microsoft Teams. Taylor Neeley will forward the meeting invite to all General Contractors.

IV. BIDDING REQUIREMENTS

Perez directed all interested bidders to Section 001116 Invitation for Bid in Volume 1 Specifications that outline the specifics for submitting bid for the project.

All bids must be enclosed in a sealed opaque envelope, bearing the name, address of the bidder, South Carolina Contractors and Bidders License numbers, Identifications of contract being bid and name of project.

Perez reminded all contractors that all issued Addenda must be acknowledged on the Bid Form in order to avoid having their bid deemed non-responsive.

Along with the Bid, a Bid Bond or Cashier's Check for 5% of Base Bid, and Acknowledgement of Receipt of Addenda is required to be submitted. Performance Bond and Labor and Material Bonds in the amount of one hundred percent (100%) of the Contract Amount will be required. The bid must be signed and comply with all South Carolina laws.

Perez referred all bidders to the Minority Owned Business Enterprise (MBE) affidavit located in the project specifications. She confirmed that the District has established a 20% goal for MBE participation on Charleston County School District projects. Perez further noted that contractors will be required to report levels of participation and good faith efforts to gain participation as described in specifications. It is noted the local community has been very active in monitoring the progress of MBE participation on CCSD projects. Perez said that final MBE Affidavits will be allowed to be submitted within 3-days after the bid opening by the successful bidder.

Perez urged all bidders to fill out all blanks on the Bid Form to avoid being deemed an unresponsive bidder. Unit Prices are included in Volume 1 Specifications and are also included on the Bid Form. Though some items may appear not be in the scope of the work, pricing quotes should be provided for each line item as they will be part of the Owner's bid evaluation and could result in a bidder being deemed non-responsive due to an incomplete Bid Form.

Bidders are reminded to coordinate with the City of North Charleston to secure local business licenses as necessary.

Perez stated that the District has encountered licensing issues on past procurements and asked bidders insure that subcontractors are properly licensed for the work that they are undertaking.

V. REVIEW OF PLANS AND SPECIFICATIONS

Perez indicated that during the bid phase she would be the contact person for the Owner and stated that bidders could submit questions related to the project to her attention. She said that questions can be mailed to her attention at mperez@bstonegroup.com and copied to Taylor Neeley at tneeley@bstonegroup.com Danielle DeLorme of Red Iron Architects will be the contact person for the design team. Technical questions and requests for substitutions

should be forwarded to her attention at danielle@red-ironarchitects.com. Perez noted that front end specifications state the last day for questions will be January 14, 2022.

Perez turned the meeting over to Red Iron Architects and allowed them to give an overview of the project. D. DeLorme gave a description of the project to indicate work items that are included in the scope of work and noted the following during her remarks:

DeLorme from Red-Iron Architects discussed the site plan, pointing out the entrance being moved to Verde, and the stacking loop circling the building. The children will enter through the cafeteria. She pointed out the fire lane access on Spruill-Verde, and the teacher parking lot on the North side. She noted the two playgrounds and garden classroom, and also noted that the entire campus is fenced. On the first floor, DeLorme noted the security vestibule, admin offices, multipurpose & band rooms, and a raised platform in the cafeteria. She stated that the piping comes in over the cafeteria, and there is a three-hour fire wall along the length of the cafeteria. The first floor classrooms are for the youngest children. On the second floor, DeLorme noted that the cafeteria, multipurpose room, and entry vestibule are multi-floor. The second floor contains a computer lab, offices, conference room, and the older elementary children. The third floor is for the middle school children, and there are 2 staircases to access it (and a third staircase that goes between the first and second). There is a walkout roof access door on the third floor (and two other accesses in the building). There is also a middle school science lab. The toilets on all three floors are stacked.

On the exterior of the building, DeLorme noted the grade changes along Spruill and some sloped roof areas.

Perez noted that the chillers for the building will be on the roof of the cafeteria and must be fully screened as required by the City of North Charleston.

Perez added that sitework and utilities are also included in project requirements. Perez noted that there is an Early Site Work Package currently under construction and would review this scope of work later in the meeting.

All contractors are urged to review specifications related to Liquidated Damages should the completion date not be met. Liquidated Damages as specified are \$500 per day for every day the contractor extends the completion of the facility beyond the stipulated substantial completion date and \$750 per day for every day after the thirty-first day following substantial completion.

Perez noted that plans can be obtained by contacting Duncan Parnell Printing Company of North Charleston, SC.

Perez confirmed that per the specifications, the total project carries an approximate 17-month substantial completion within which all work is to be completed.

Perez encouraged everyone to review the sample AIA A132 and AIA A232 included in the Project Manual.

Perez pointed out in AIA A232 Section 9.2, contractors are required to carry line items in the Schedule of Values for 3% of the Contract Sum for Punchlist work and 3% of the Contract Sum for Closeout Documents. In the past, the District has had issues with completing the punch and receiving closeout documents in a timely manner. Contractors may bill for these line items as work is completed.

VI. ADDENDA / ALLOWANCES / ALTERNATES

While zero (0) addenda have been issued, Perez noted that at least one Addendum will be formally issued for the project to include the minutes of the Pre-Bid Meeting and other clarifications. All bidders are to ensure that they obtain all addenda that are issued for the project and acknowledge receipt on the Bid Form.

Perez outlined Allowances indicated in Specification Section 012100 totaling \$2,407,000.00 and explained that will be included in the Contractor's pricing for the project as shown on the Bid Form. The indicated Allowances are to be considered as the Owner's contingency funds and separate from the contractors General Conditions or Contingency.

General Contingency Allowance	\$450,000.00	
Dispute Resolution Board Allowance	\$10,000.00	
Fire Alarm System Allowance	\$286,000.00	(By JCI)
Intrusion Detection System Allowance	\$40,000.00	(By JCI)
Energy Management System Allowance	\$1,050,000.00	(By CMI)
Security Access Control Hardware Allowance	\$175,000.00	(By TSC)
Door Hardware Punch Allowance	\$21,000.00	(By Assa Abloy)
Fencing and Gates Allowance	\$375,000.00	(By Maner Fencing)

Perez noted that there are three (3) Bid Alternates to be priced for the project and described them as follows:

Alternate No. 1: Indicate pricing to add alternate glazing at interior doors and windows as follows:

Alternate 1A: Indicate pricing to add Laminated glazing in lieu of tempered glazing.

Alternate 1B: Indicate pricing to add Windborne-Debris-Impact Resistant glazing in lieu of tempered glazing.

Alternate 1C: Indicated pricing to add Bullet-Resistant Glazing (Level 1) in lieu of tempered glazing.

Alternate No. 2: Indicate pricing to provide thin set epoxy terrazzo flooring in Lobby 100 with integral cove base. Epoxy terrazzo to match Sherwin Williams Colors, Matrix: 50% China White, 50% Crystal Glass.

Alternate No. 3: Indicate pricing to add all work associated with the Emergency Responder Radio Repeater and Bi-Directional Antenna system as indicated on plans and in specifications

VII. SPECIAL CONDITIONS

Perez reminded everyone the project is under the oversight of OSF.

Perez clarified that IBC Chapter 1 and 17 inspections will be conducted under separate contract as required by the State Department's Office of School Facilities (OSF) as these services are required to be independent of the general contractor. Similarly, separate contract Material Testing and Inspections will have to be scheduled and coordinated by the

General Contractor. Per the contract documents, the contractor will be responsible for costs associated with re-tests due to failed tests and/or inspections. Terracon is the testing agent assigned to this project for the District.

Perez referenced the Soils Report for the project as prepared by Insight Group is included in the documents. She urged all contractors to pay close attention to the report's findings when preparing pricing. Perez said that the Soils Report will be the basis of resolving questions related to unsuitable soil conditions and the reuse of excavated material. Contractors should carefully consider the project schedule when deciding whether to utilize existing material, deemed suitable for backfill that may be too wet for immediate use. The Owner will not pay for fill material that may be needed due to an incorrect assumption made by the contractor during the bid process.

Perez noted that per Section 015000 of Volume 1 Specifications, offices for the General Contractor and Program Manager should be provided on site. As indicated, the Contractor will be responsible for utility costs associated with these facilities.

Perez directed each contractor's attention to Specification Section 016400, Owner Furnished Products. She noted that the typical listing of Owner Furnished Items are included as done on prior CCSD projects. In addition, the District has pre-purchased the bar joists and roof decking as specified in the Bar Joist and Roof Deck Package dated 10.15.2021. These are being procured under IPW Construction Group's contract with Division Five as the steel subcontractor. The General Contractor will be responsible for erection of roof steel.

DHEC required silt fence/erosion control monitoring activities will be conducted by Newkirk Environmental.

Perez reminded all contractors to be mindful of the requirements of working in the City of North Charleston. She noted that all costs should include pricing associated with logistics in the area to include noise ordinances, working hours, etc.

Perez reminded contractors to include costs for a required full-time Quality Control person in their pricing per the contract documents. This person is to be in addition to the Superintendent.

Perez noted that the District is Working with Horizon Village to obtain the right-of-way between Verde Avenue and the District's property. Until this property has been secured, no work can be completed in this area.

VIII. SITE VISITS

Perez stated visits to the site are at the General Contractor's discretion. Any visitors to the site are to check in with Brownstone's Site Manager, Enoch Dickerson. Perez specifically stated that any questions raised during walkthroughs will not be answered on site. These should be submitted in writing via noted channels so appropriate responses can be distributed to all bidders.

IX. QUESTIONS AND ANSWERS

Q1: Clarify if the SWMBE forms are due within 24 hours or 3 Days.

A1: 3 Days is acceptable.

Q2: Will the fencing be installed by the Owner?

A2: The fencing will be installed under the Fencing and Gates Allowance by the Owner's preferred vendor, Maner Fencing. This allowance is for permanent metal fencing only. Temporary fencing and wood privacy fencing is the responsibility of the general contractor.

Q3: Who will be doing the joist and decking?

A3: IPW Construction Group holds the early steel package contract. Division Five is the steel subcontractor and is located in Hollywood, SC.

Q4: Will As-builts of the site preparation work be made available?

A4: Grading and storm water as-builts will be provided after the early site work is complete.

Q5: When is the site preparation work expected to be complete?

A5: It is scheduled to be wrapped up by mid-February, weather dependent.

X. CLOSING REMARKS

Shaw noted the importance of meeting CCSD's SWMBE goal. She stated the district is undergoing a formal disparity study to quantify their participation rates. The district is committed to improving SWMBE participation.

Shaw noted that any safety issues are to be reported immediately to the CM Team.

Collier reminded attendees to not modify the bid form.

Collier reminded attendees to make sure everyone is appropriately licensed to work in the City of North Charleston and Charleston Water System.

Collier pointed out that the 4.9 acre site is very tight for this size of a school. Contractors will need to be mindful when locating construction trailers, laydown area and parking for workers.

Perez noted that OSF is requiring that a fire lane be maintained at the rear of the school.

Collier stated that contractors should be mindful of all work completed by the Early Site contractor. The general contractor will be responsible for maintaining and not damaging in place work. If the contractor damages in place work, they will be responsible for repairs. Souder noted that heavy equipment should not be placed over the underground detention chambers.

Collier reminded attendees that the commitments made during the RFQ by the general contractors in regards to personnel and SWMBE participation goals still apply.

End of Meeting

1.2 QUESTIONS & CLARIFICATIONS

QUESTIONS:

- Q1.1: Interior frames shown 2/A6.03 and the exterior frames shown 1/A6.03. Please confirm the frames shown in 2/A6.03 and 1/A6.03 are all storefront.
- A1.1: All storefront frames have referring tags on the plans. See the door schedule for frame material types.**
- Q1.2: There are doors listed on door schedule as being Narrow Glass(NV) with a 180 rating(104C,156,156M). There is not fire rated glazing for 180 minute rating. Should these doors be type “F” doors.
- A1.2: 104C to be type F door. Cafeteria doors 156M to be 180 min with one window in one door with Firelite glazing in compliance with door rating requirements.**
- Q1.3: Should all sinks have the PTD and FSD similar to Elevation 10A5.24/A5.11. The other room elevations show a PTD and FSD but are not labeled like the elevation referenced above.
- A1.3: Refer to the enlarged toilet plans on A5.11/A5.12. Refer to A9 Series elevations for locations at casework sinks. Group restrooms receive warm air hand dryers.**
- Q1.4: Is there a specified supplier for the soft walls?
- A1.4: See the specifications for all acoustical component requirements. See drawings and finish schedule for basis of design.
- Q1.5: Provide corner guard locations. The assumption is outside corners of all drywall partitions only will receive corner guards.
- A1.5 See A8-Finish plan series for locations.**
- Q1.6: Note 8 under the elevation keynotes states “White Board – Coordinate with furniture piece”. Should these white boards be included in a proposal for white boards / tack boards or are they part of the Owner furnished items?
- A1.6: The marker/white boards that are on the learning wall come with the furniture and should not be part of the white board/tack board proposal. All other marker/white boards to be included within the GC scope of work. All tack boards are to be included within the GC scope of work.**
- Q1.7: Please confirm if TERRAZZCO Brand is an acceptable alternate for the Terrazzo floor in the lobby.
- A1.7: Contractor notified that they must submit substitution request form in accordance with the specifications.**
- Q1.8: Schedule 40 pipe is specified for all sprinkler pipe on this project. Will the engineer of record accept schedule 10 pipe for the base bid or as a value engineering alternate to the base bid?
- A1.8: The sprinkler contractors bid the project with Schedule 40 pipe as specified.**
- Q1.9: Site furnishings is listed as OF/OI in the specifications. Please confirm this includes the precast benches at the outdoor classroom, as these are potentially long lead items for pricing.
- A1.9: The outdoor classroom benches are to be included in the contractor’s scope of work.**

- Q1.10 The flooring specifications, under final cleaning, state “Engage Owner’s cleaning vendor to perform final cleaning and buffing after protective covers are removed.” The responsibility chart in Section 016400 indicates the Owner and manufacturer are responsible for “clean-up” of owner-furnished/owner-installed items. Can you clarify who is responsible for the cost of any buffing, burnishing, waxing, etc. of OF/OI floors? If contractor is responsible, can you provide the contact information for the Owner’s cleaning vendor so we may obtain a price for the cleaning? Alternatively, can product data sheets be provided to determine what is required of the floor products at the time of final cleaning?
- A1.10 After flooring is installed, the Construction Manager will coordinate with the district’s cleaning vendor for any buffing, burnishing or waxing required for resilient floors. After this process, the General Contractor is required to maintain and clean the floors until the building is turned over to the district. See Finish Legend on A8.10 for flooring manufacturers and product information.**
- Q1.11 Discrepancies with floor finishes in rooms 240, 249, 252, 253
- A1.11 Floor finishes for rooms 240, 249, 252 and 253: CPT-2, RTF-1, RTF-2**
- Q1.12 Should door 161 at main mechanical room have card reader access/ be electrified?
- A1.12 Yes, this door to be electrified and have a card reader. This will be updated in the conformed set.**
- Q1.13 Can closed cell spray foam in lieu of fluid applied air barrier and rigid insulation?
- A1.13 No, contractors should price materials as noted in the drawings and specifications.**

CLARIFICATIONS:

- C1.1 Sprinkler Contractors: Premier Fire and Security are approved to be added to Specification Section 211313-1.01.D.
- C1.2 Structural floor decking will be supplied by the Owner under IPW Construction Group’s contract with Division Five as the steel subcontractor. Only material is being supplied, General Contractor is responsible for all erection costs.
- C1.3 Privacy Fencing: The 8’-0” wood privacy fencing as indicated on the drawings is not included in the Fencing and Gates Allowance. Privacy fencing is to be provided by the General Contractor. See additional information on A0.03, A0.04, A1.00.
- C1.4 Earthquake drains are to be deleted. Remove earthquake drain notes on sheets S1.01, S1.11a, S1.11b, S1.11c and S1.11d.
- C1.6 Hand Dryer Substitution Request: World Dryer SLIMdri is not an approved substitution.

1.3 DRAWINGS

ARCHITECTURAL:

1. A0.03 SITE DETAILS
Updated wood privacy fencing detail
2. A0.04 SITE DETAILS
Added Sheet A0.04
3. A1.00 ARCHITECTURAL SITE PLAN
Revised wood privacy fencing, added detail references to the dumpster enclosure and garden shed.

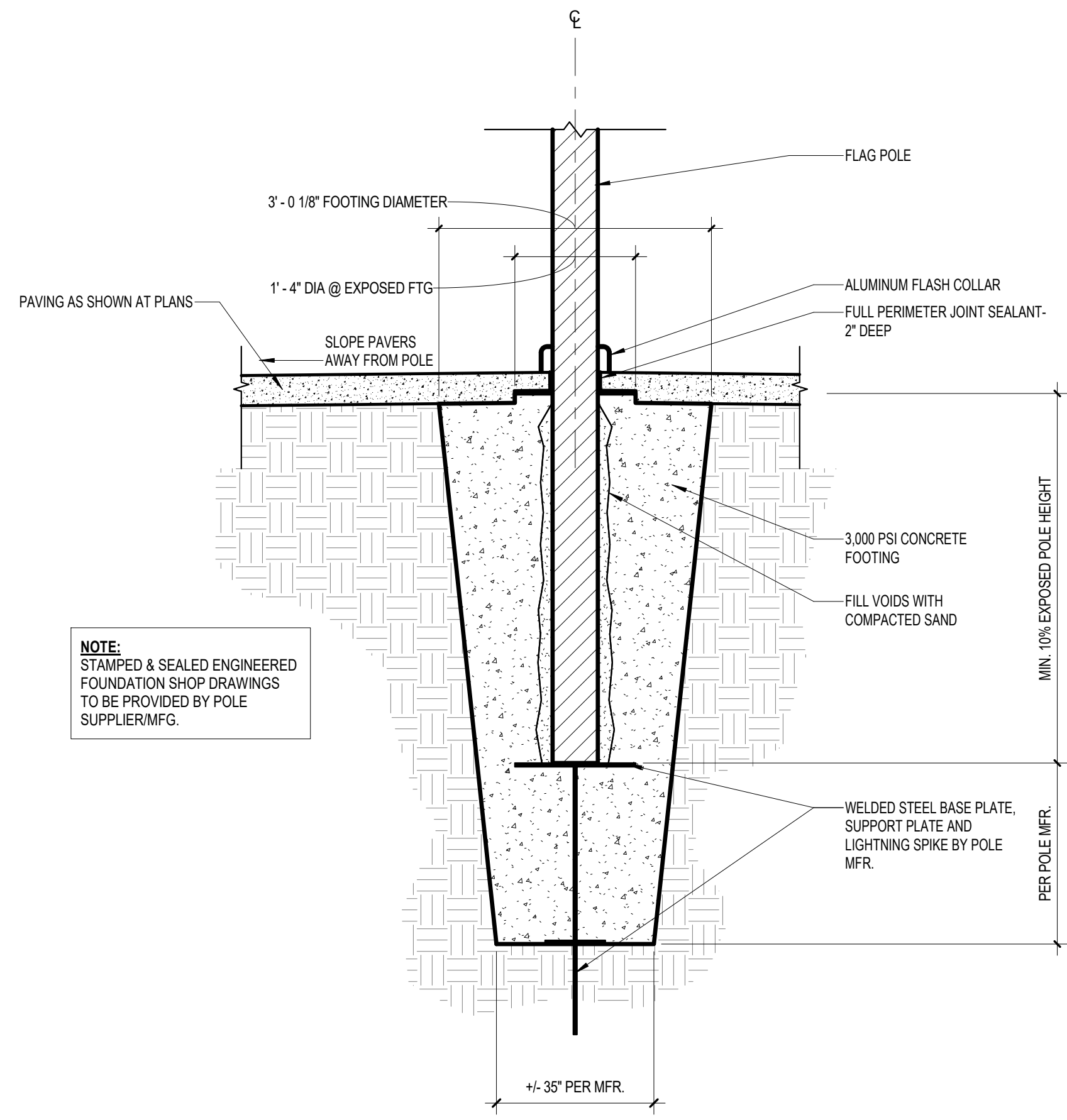
STRUCTURAL:

4. S1.05 SITE WALL PLANS
Revised top of wall elevations and footing sizes to match the latest civil drawings for parking variance.

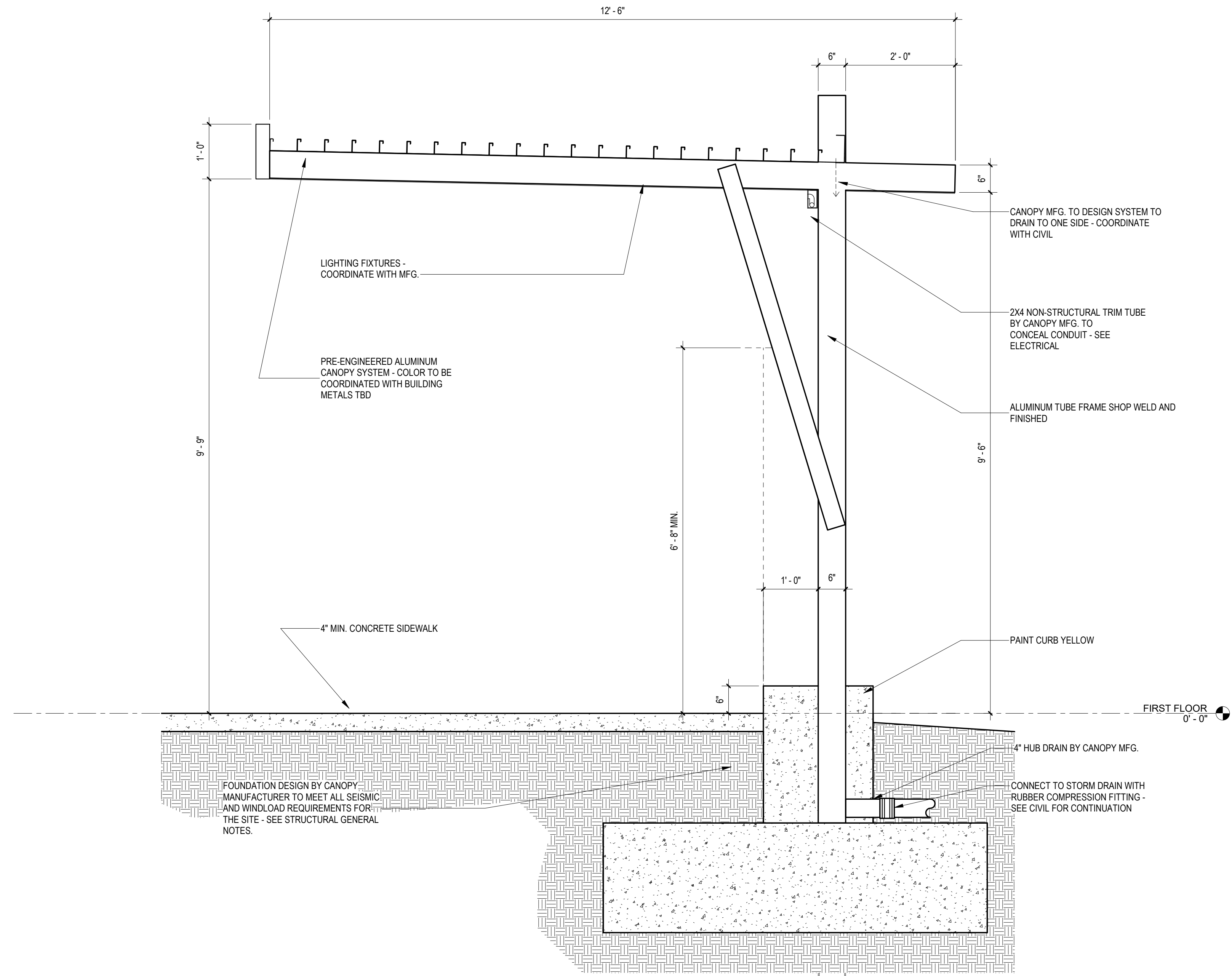
1.4 BAR JOISTS AND ROOF DECK PACKAGE (FOR REFERENCE ONLY)

Bar Joists and Roof Decking are being supplied by the IPW Construction Group with Division Five as the steel subcontractor. Attached are the Bar Joists and Roof Deck Package drawings to be used as reference only.

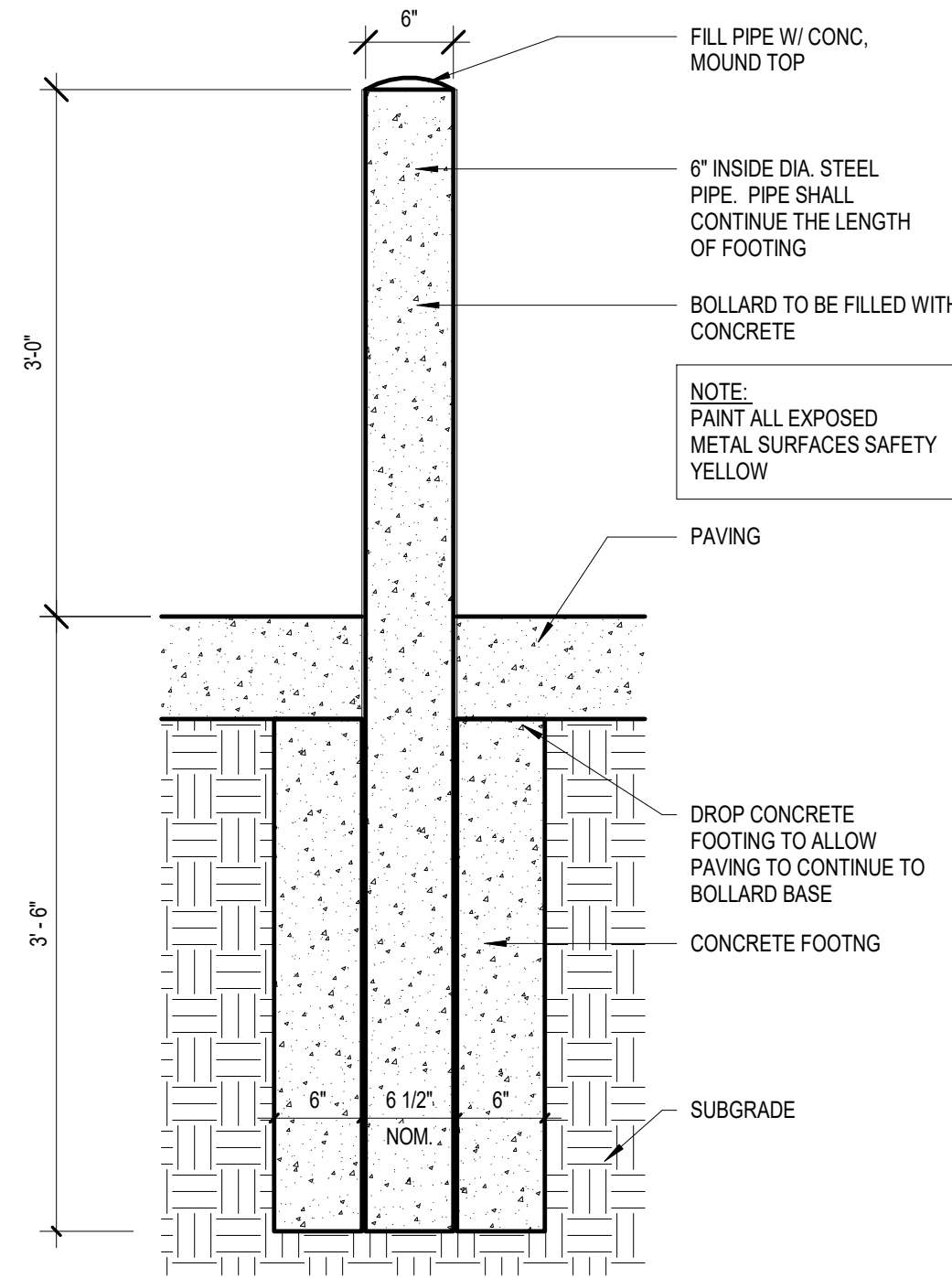
1. R0.01 COVER SHEET
2. R0.02 GENERAL NOTES
3. R0.03 WIND LOADS & DECK PLANS
4. R1.12d LEVEL 2 – AREA D – ROOF FRAMING PLAN
5. R1.13b LEVEL 3 – AREA B – ROOF FRAMING PLAN
6. R1.13c LEVEL 3 – AREA C – ROOF FRAMING PLAN
7. R1.13d LEVEL 3 – AREA D – ROOF FRAMING PLAN
8. R1.14A LEVEL 4 – AREA A – ROOF FRAMING PLAN
9. R1.14B LEVEL 4 – AREA B – ROOF FRAMING PLAN
10. R2.00 STEEL ROOF FRAMING DETAILS



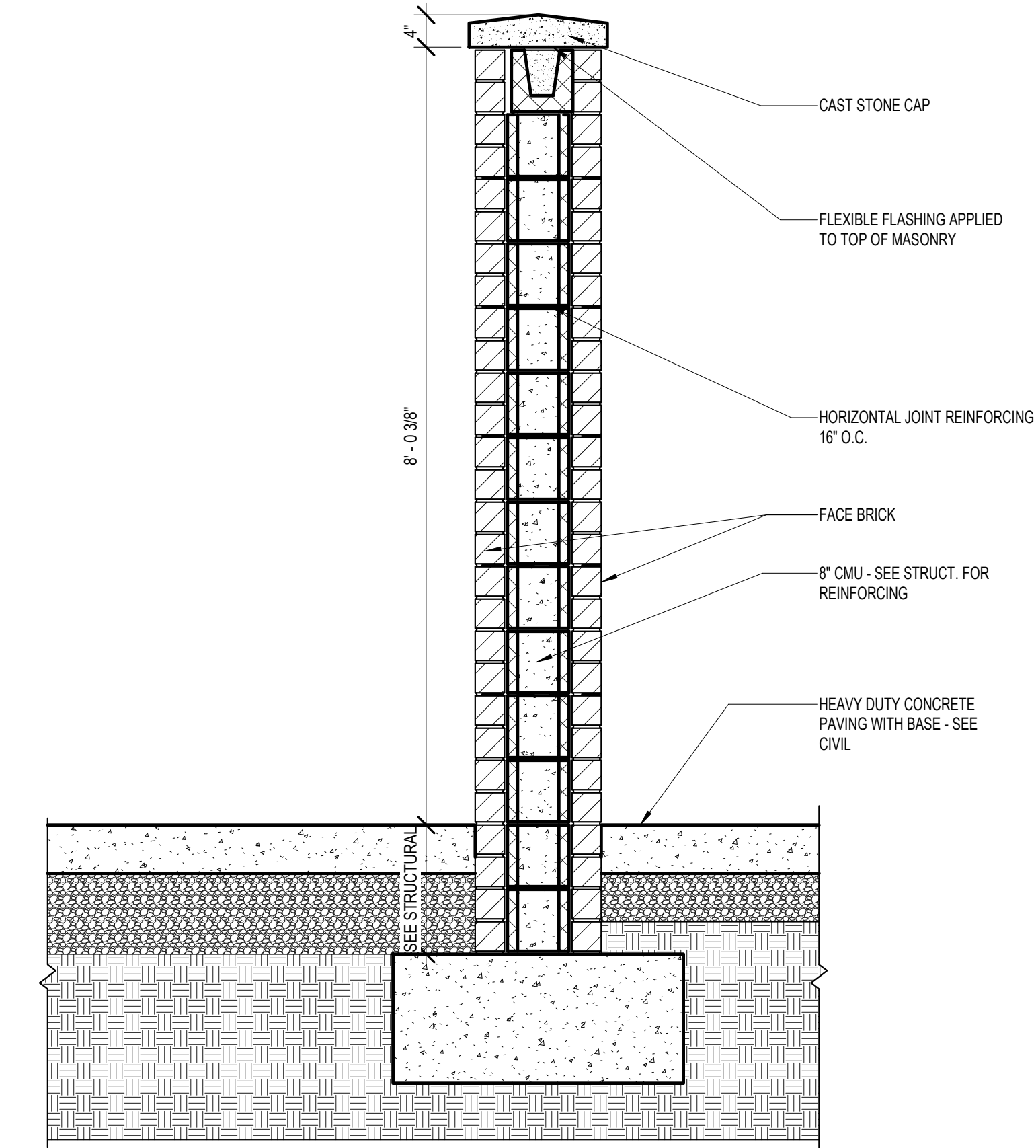
4 FLAGPOLE SECTION DETAIL
3/4" = 1'-0"



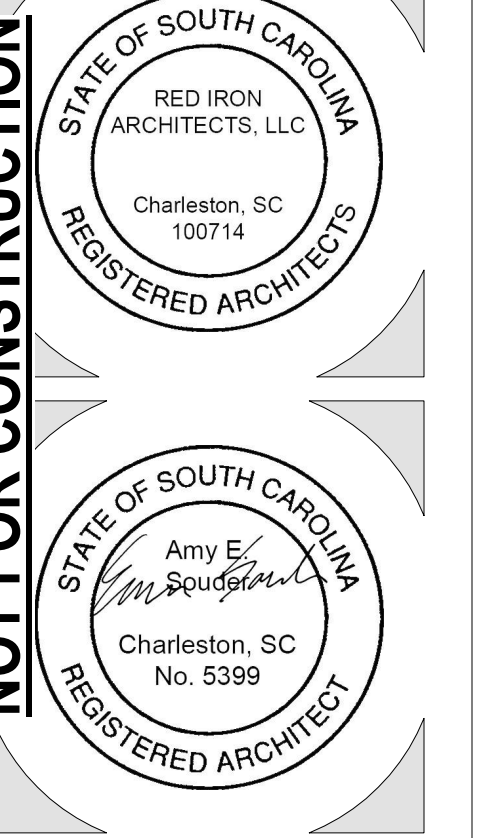
1 BUS CANOPY SECTION
3/4" = 1'-0"



5 BOLLARD DETAIL AT PAVED SURFACE
1" = 1'-0"



2 DUMPSTER ENCLOSURE - DETAIL
3/4" = 1'-0"



MALCOLM C. HURSEY MONTESSORI SCHOOL AT THE RON MCNAIR CAMPUS BUILDING NO. 0734
3910 VERDE AVENUE
NORTH CHARLESTON, SC 29405

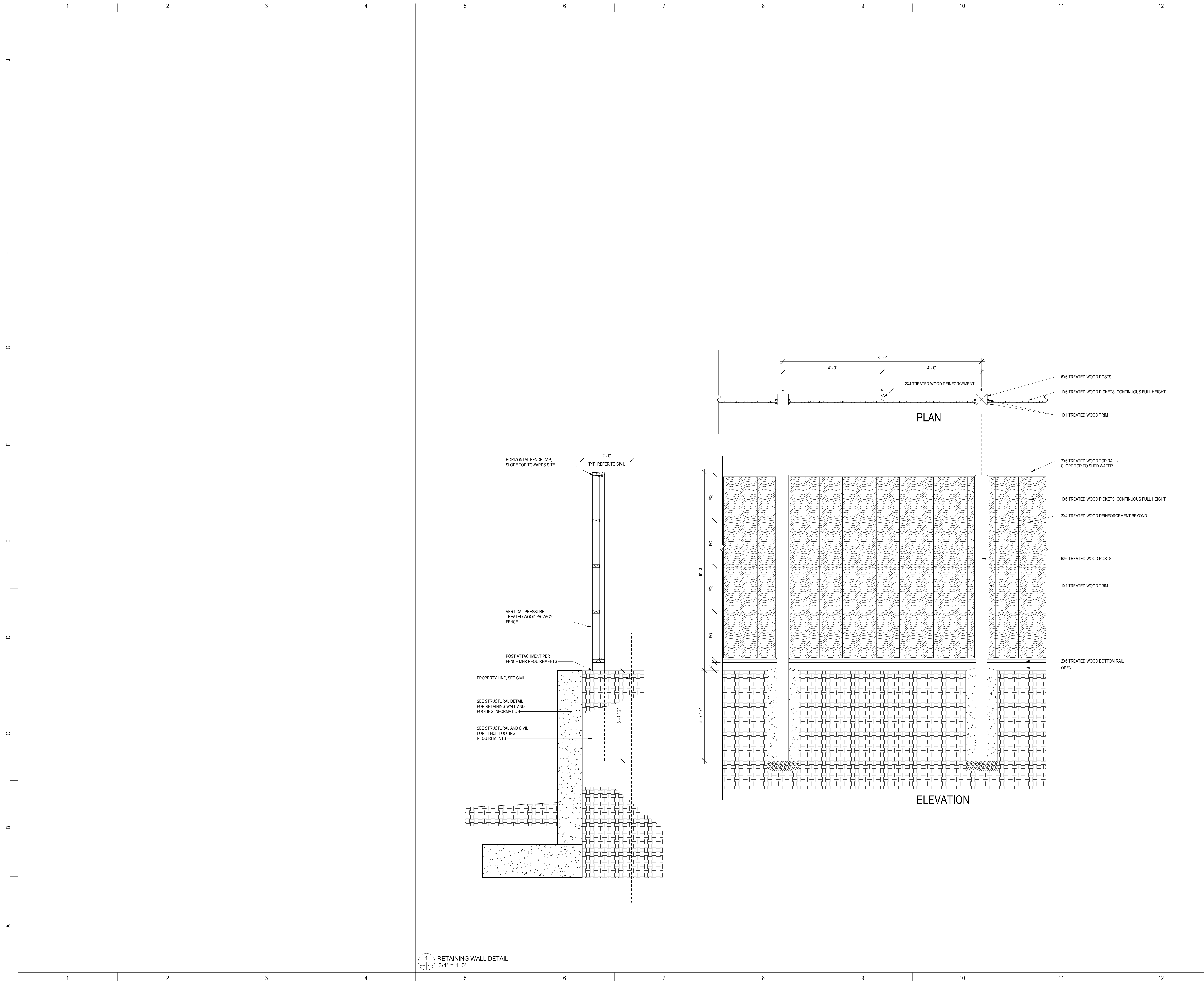
#	DESCRIPTION	DATE
1	ADDENDUM 1	01/10/22

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 APPROVED FOR CONSTRUCTION

BID SET
SITE DETAILS

Project Number: 20076
Date: DECEMBER 17, 2021
Drawn By: KFS



1 RETAINING WALL DETAIL
 3/4" = 1'-0"

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 Amy E. Spurgeon
 Charleston, SC No. 5399
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Charleston County SCHOOL DISTRICT

MALCOLM C. HURSEY MONTESSORI SCHOOL AT THE RON MCNAIR CAMPUS BUILDING NO. 0734
 3910 VERDE AVENUE
 NORTH CHARLESTON, SC 29405

#	DESCRIPTION	DATE
1	ADDENDUM 1	01/10/22

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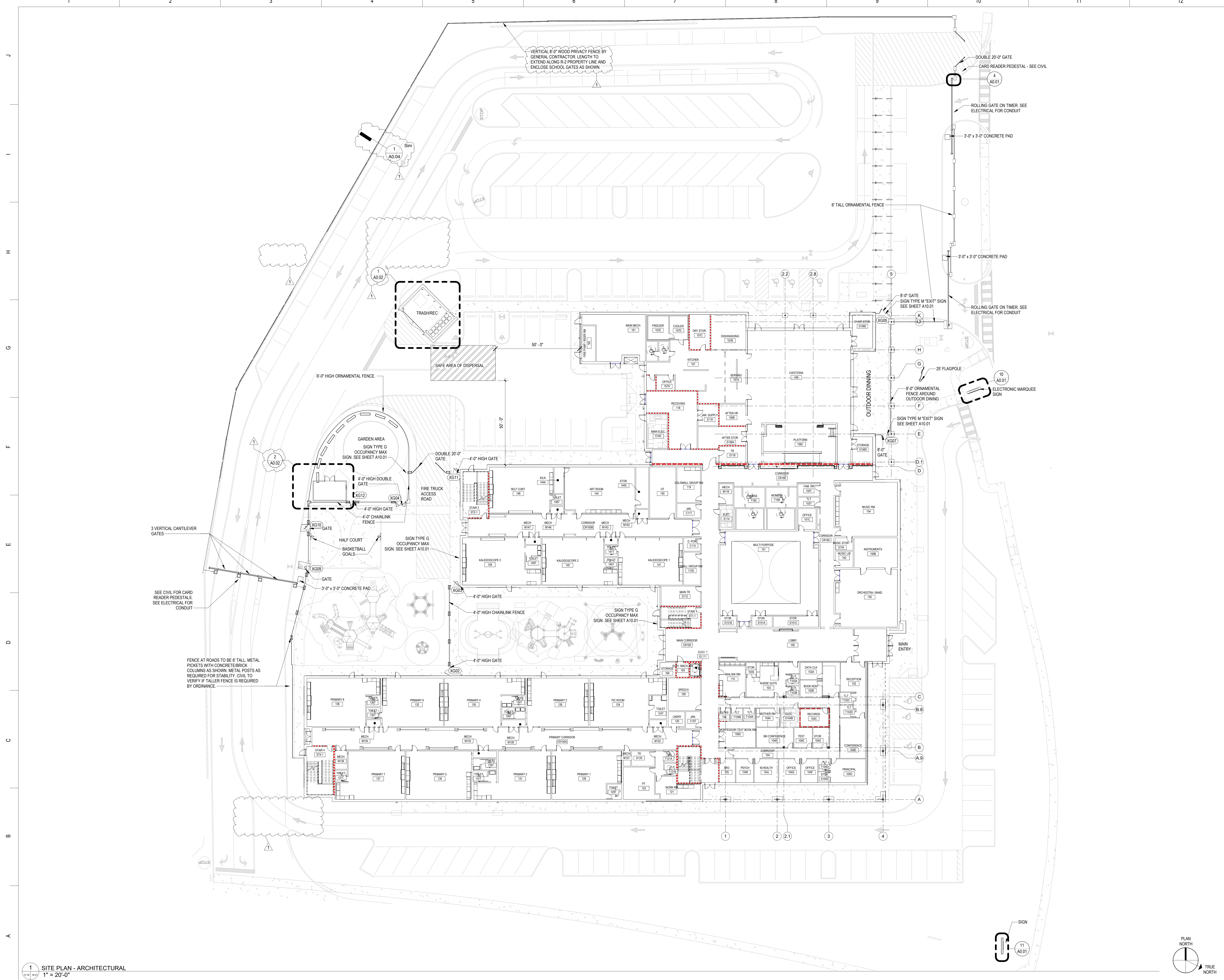
BID SET

SITE DETAILS

Project Number: 20076
 Date: DECEMBER 17, 2021
 Drawn By: EMW

A0.04

1/10/2022 10:48:29 AM



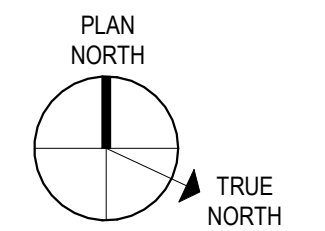
VERTICAL 2'-0" WOOD PRIVACY FENCE BY GENERAL CONTRACTOR. LENGTH TO EXTEND ALONG R-2 PROPERTY LINE AND ENCLOSE SCHOOL GATES AS SHOWN.

SEE CIVIL FOR CARD READER PEDESTALS. SEE ELECTRICAL FOR CONDUIT.

FENCE AT ROADS TO BE 6' TALL, METAL PICKETS WITH CONCRETE/BRICK COLUMNS AS SHOWN. METAL POSTS AS REQUIRED FOR STABILITY. CIVIL TO VERIFY IF TALLER FENCE IS REQUIRED BY ORDINANCE.

SIGN
11
A0.01

1 SITE PLAN - ARCHITECTURAL
1" = 20'-0"



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STATE OF SOUTH CAROLINA
Amy E. Spangenberg
Charleston, SC No. 5399
REGISTERED ARCHITECT

Charleston County SCHOOL DISTRICT

MALCOLM C. HURSEY MONTESSORI SCHOOL AT THE RON MCNAIR CAMPUS BUILDING NO. 0734
3910 VERDE AVENUE
NORTH CHARLESTON, SC 29405

#	DESCRIPTION	DATE
1	ADDENDUM 1	01/10/22

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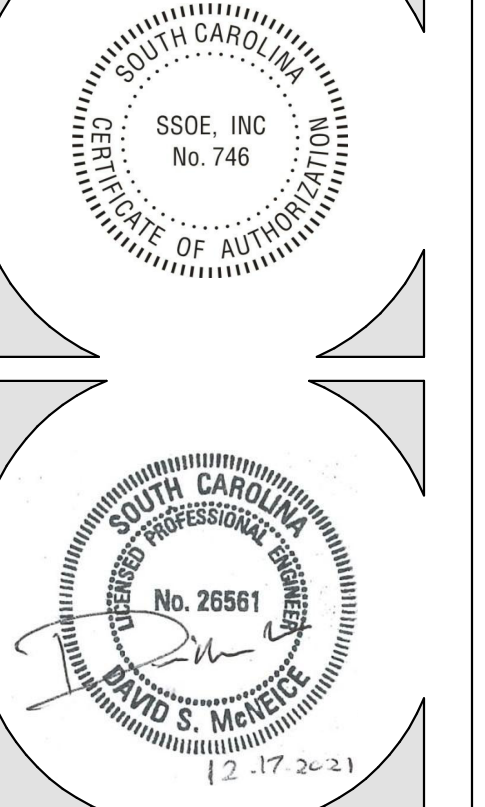
BID SET

ARCHITECTURAL SITE PLAN

Project Number: 20076
Date: DECEMBER 17, 2021
Drawn By: KFS

A1.00

1/10/2022 10:05:55 AM



MALCOLM C. HURSEY MONTESSORI SCHOOL AT THE RON MCNAIR CAMPUS BUILDING NO. 0734
3910 VERDE AVENUE
NORTH CHARLESTON, SC 29405

#	DESCRIPTION	DATE
1	ADDENDUM #1	TBD

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BID SET

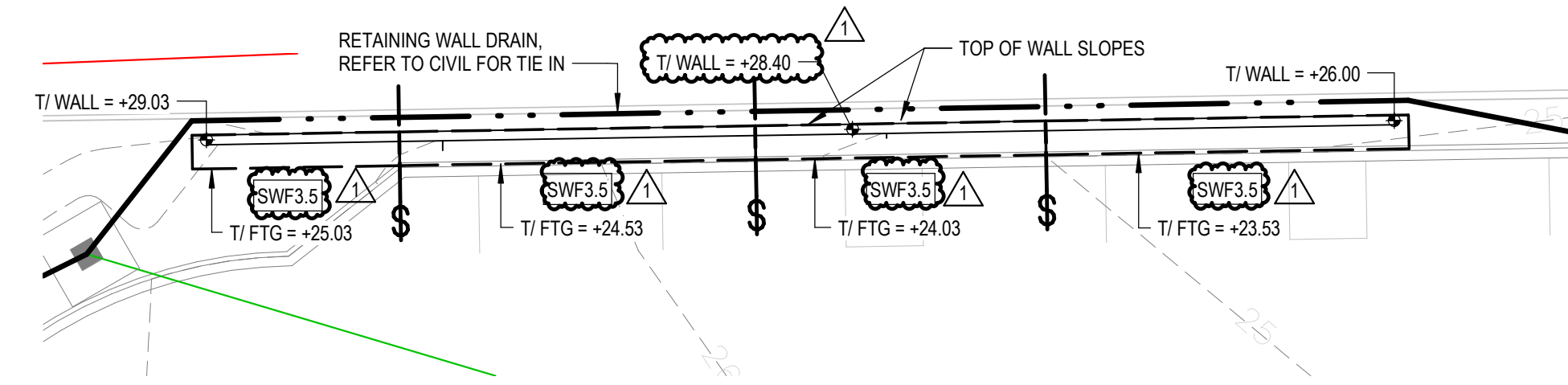
SITE WALL PLANS

Project Number: 20076
Date: DECEMBER 17, 2021
Drawn By: DSM

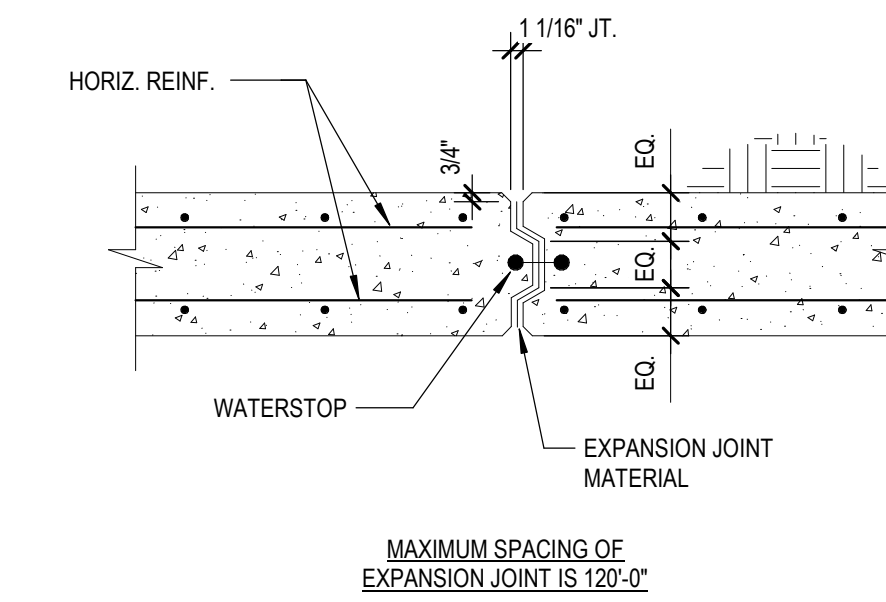
S1.05

ENGINEERING CONSULTANTS

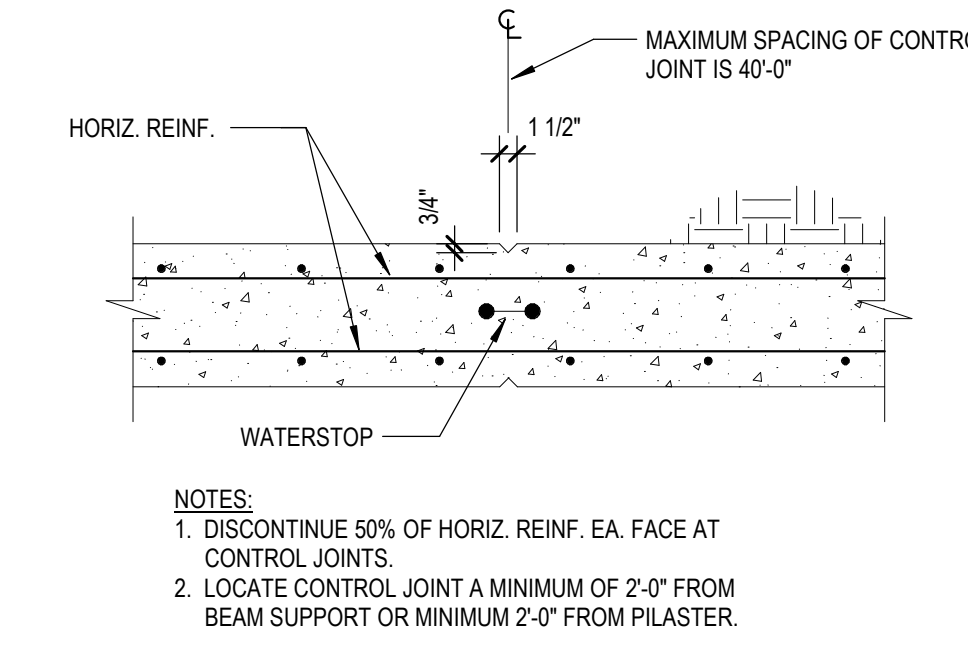
SSOE/SW PROJECT #: 02100971
SSOE/SW MANAGER: DSM
SSOE | STEVENS WILKINSON
1501 Main St, Suite 730
Columbia, SC 29201
T: (803) 765-0520



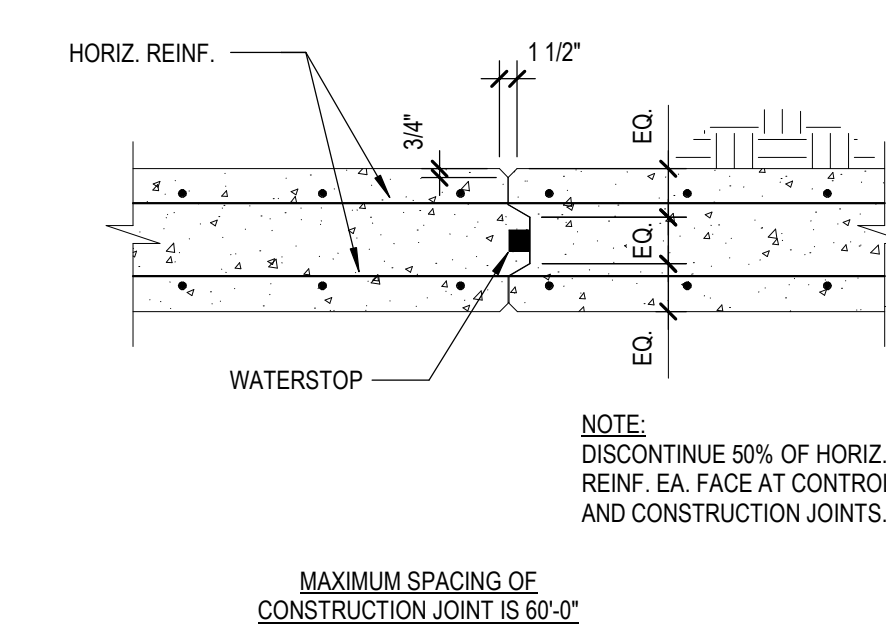
C LEVEL 1 - SITE WALL - WALL 3
1/16" = 1'-0"



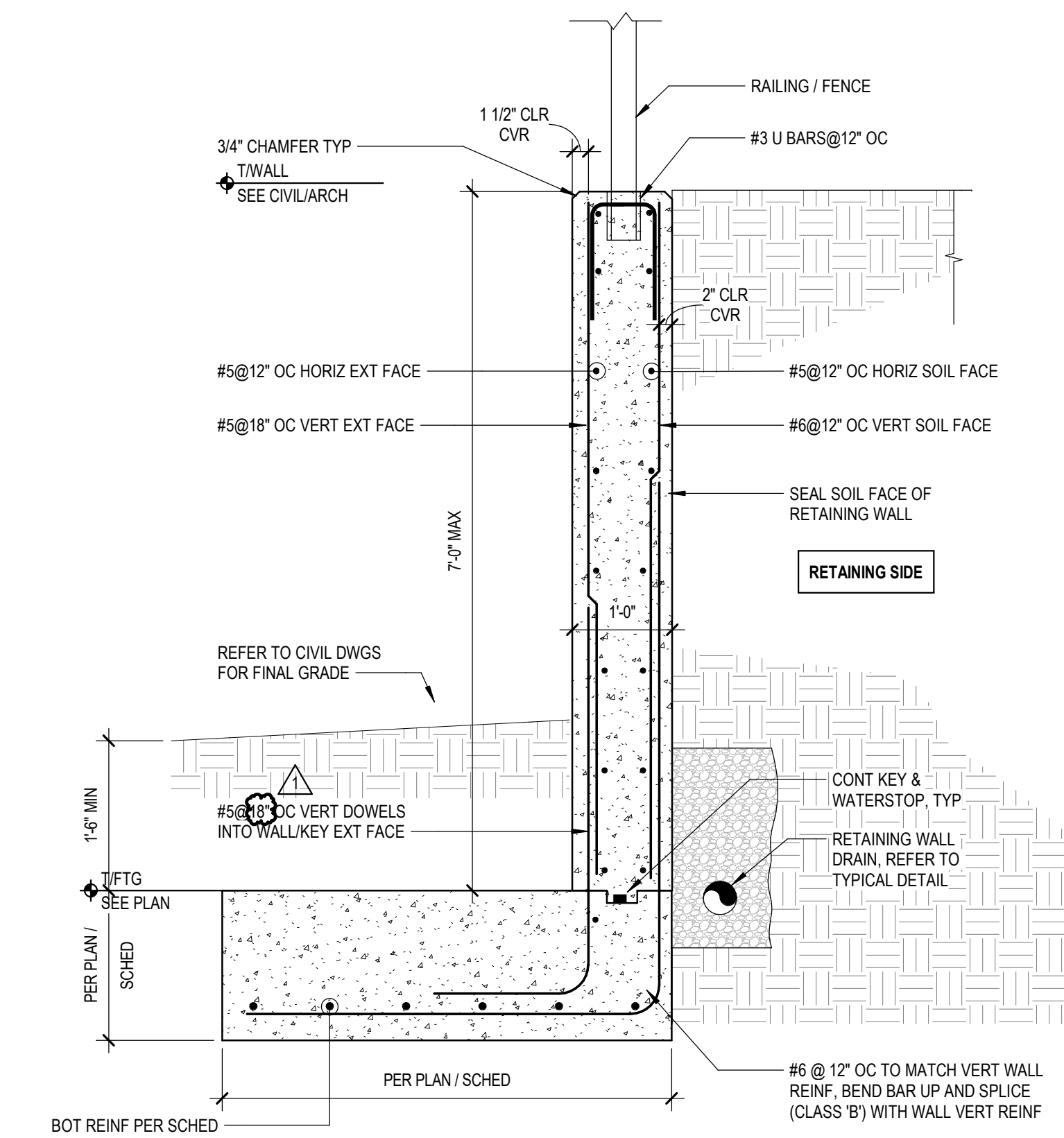
6 TYPICAL CONCRETE WALL EXPANSION JOINT DETAIL
3/4" = 1'-0"



5 TYPICAL CONCRETE WALL CONTROL JOINT DETAIL
3/4" = 1'-0"

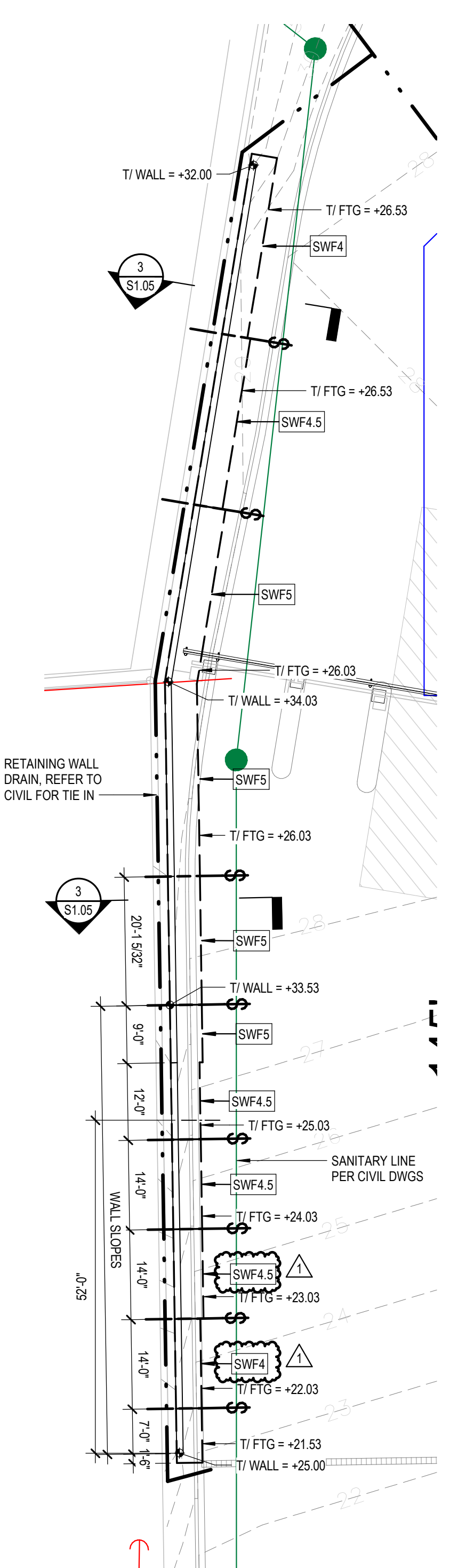


4 TYPICAL CONCRETE WALL CONSTRUCTION JOINT DETAIL
3/4" = 1'-0"

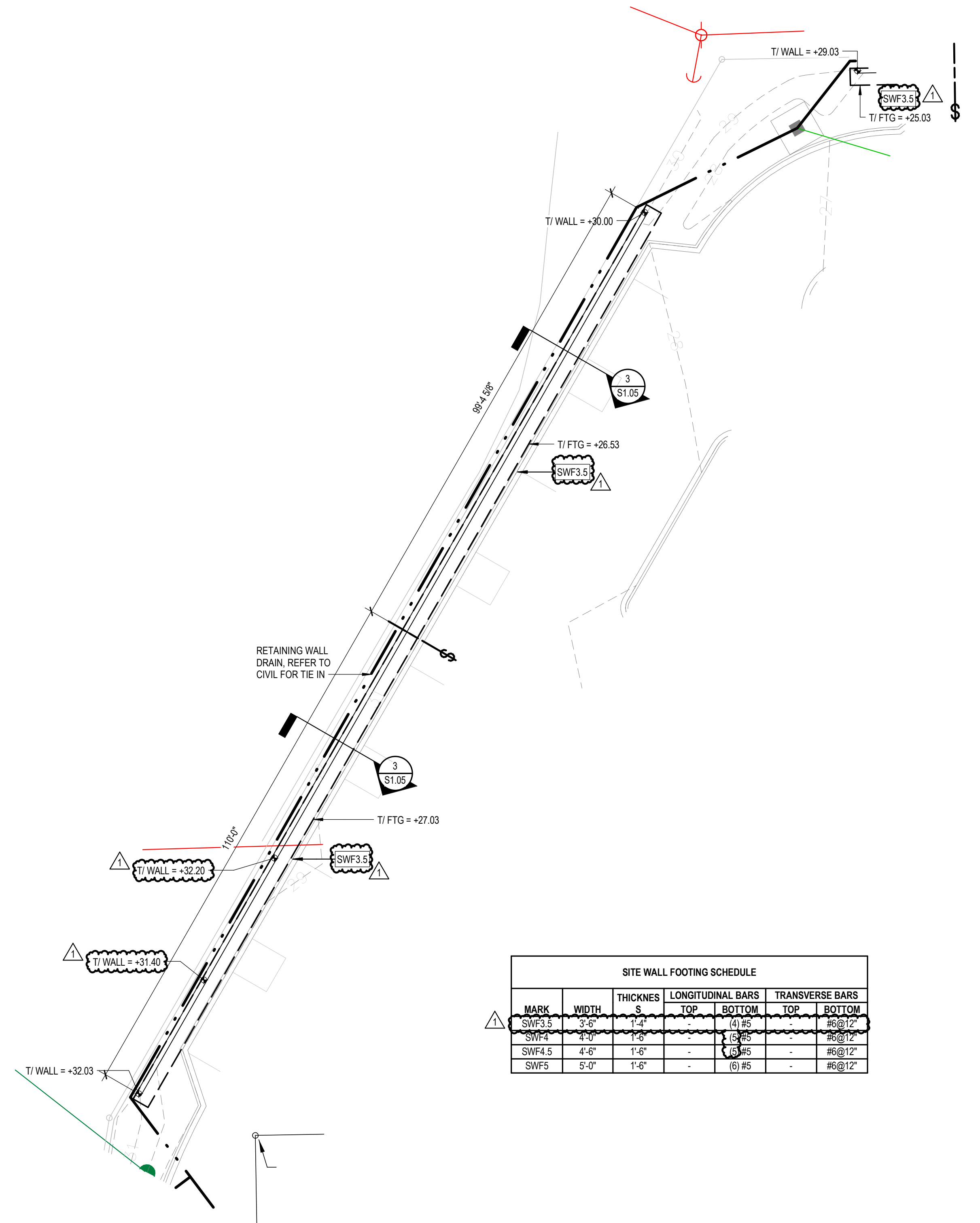


3 TYPICAL SECTION AT 12" CMU EXTERIOR WALL RETAINING FOOTING
3/4" = 1'-0"

MARK	WIDTH	THICKNESS	LONGITUDINAL BARS		TRANSVERSE BARS	
			TOP	BOTTOM	TOP	BOTTOM
SWF3.5	3'-6"	1'-2"	(4) #5	(4) #5	(6) #12	(6) #12
SWF4.5	4'-6"	1'-6"	(4) #5	(4) #5	(6) #12	(6) #12
SWF5	5'-0"	1'-6"	(6) #5	(6) #5	(6) #12	(6) #12



A LEVEL 1 - SITE WALL - WALL 1
1/16" = 1'-0"



B LEVEL 1 - SITE WALL - WALL 2
1/16" = 1'-0"